

**Applicant contact details**

Title	
First given name	Ian
Other given name/s	
Family name	O'Neil
Contact number	██████████
Email	██████████
Address	████████████████████
Application on behalf of a company, business or body corporate	No

**Owner/s of the development site**

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them	
Owner #	1	
Title	Mr	
First given name	David	
Other given name/s		
Family name	Barlow	
Contact number		
Email	██████████	
Address	████████████████████	
Owner #	2	
Title	Mrs	
First given name	Jeanette	
Other given name/s		
Family name	Barlow	
Contact number		
Email	██████████	
██████████	████████████████████ 2646	

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

**Site access details**

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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**Developer details**

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

**Development details**

Application type	Modification Application
On what date was the development application to be notified determined	4/07/2023
Type of modification requested	S4.55(1A) - Modification involving minimal environmental impact, where the development will remain substantially the same as the development that was originally approved
Development Application number of the consent to be modified	
Description of the proposed modification	Floor area reduced by 50m2, addition of pool [REDACTED]
Was the DA applied for via the NSW Planning Portal?	Yes
Please provide portal application number (PAN)	pan-313801
Site address #	1
Street address	134 RIVER STREET COROWA 2646
Local government area	FEDERATION
Lot / Section Number / Plan	452/-/DP532072 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	<p>Land Application LEP Corowa Local Environmental Plan 2012</p> <p>Land Zoning R2: Low Density Residential</p> <p>Height of Building NA</p> <p>Floor Space Ratio (n:1) NA</p> <p>Minimum Lot Size 550 m<sup>2</sup></p> <p>Heritage NA</p> <p>Land Reservation Acquisition NA</p> <p>Foreshore Building Line NA</p> <p>Terrestrial Biodiversity Biodiversity</p> <p>Wetlands Wetland</p>

**Proposed development**

Selected common application types	Erection of a new structure
Selected development types	Dwelling House [REDACTED]
Description of development	Split level Dwelling Shed [REDACTED]
Does the development include affordable housing?	No
Dwelling count details	
Number of dwellings / units proposed	1
Number of storeys proposed	1
Number of pre-existing dwellings on site	0
Number of dwellings to be demolished	0
Number of proposed occupants	0
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	1,300
Total site area (m2)	3,723

Total net lettable area (m2)	0
Cost of development	
Estimated cost of work / development (including GST)	\$2,500,000.00
Capital Investment Value (CIV)	\$2,500,000.00
Do you have one or more BASIX certificates?	Yes
BASIX Certificate Number	1734407S
Climate Zone	
What climate zone/s is the development in?	Climate zone 4 - hot dry summer, cool winter
Has the climate zone impacted the design of the development?	No
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

#### Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

#### Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	

Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

### Sustainable Buildings

Is the development exempt from the <a href="#">State Environmental Policy (Sustainable Buildings) 2022</a> Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

### Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Ian
Other given name(s)	
Family name	O'Neil
Contact number	██████████
██████████	██████████.com
Billing address	████████████████████

### Application documents



The following documents support the application.

Document type	Document file name
BASIX certificate	V16 - 1734407S_BSX-51488 Basix certificate V16 - 5587 Energy Efficiency report
Site Plans	Proposed PLans V16 - 134 River Street South corowa

**Applicant declarations**

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I agree to pay any required NSW Planning Portal Service Fee/s specified under Schedule 4 of the Environmental Planning and Assessment Regulation 2021 to the Department of Planning and Environment.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	



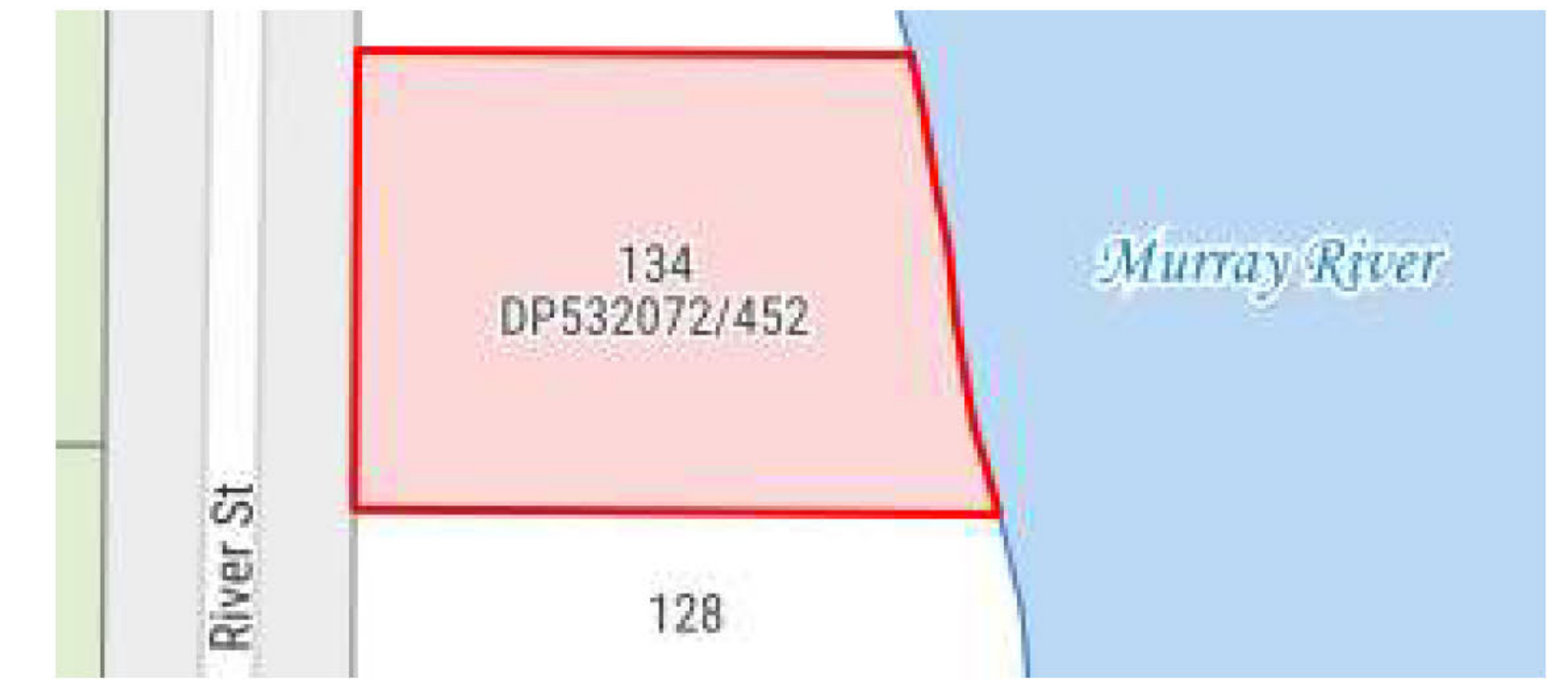
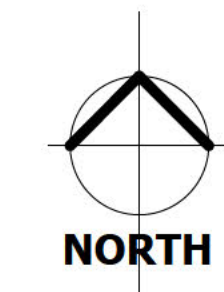
# 134 RIVER ST COROWA NSW PROPOSED NEW DWELLING, CONCEPT DESIGN - V16



SHEET LIST		
SHEET FOLDER	SHEET NUMBER	SHEET NAME
A1 - Arch		
A1 - Arch	A101	TITLE SHEET
A1 - Arch	A102	CONCEPT MODELS
A1 - Arch	A103	SITE PLAN
A1 - Arch	A104	NORTH + EAST ELEVATION
A1 - Arch	A105	SOUTH + WEST ELEVATIONS
A1 - Arch	A106	BL - BASE LEVEL FLOOR PLAN
A1 - Arch	A107	FFL - FLOOR PLAN
A1 - Arch	A108	SECTION A + DETAILS
A1 - Arch	A109	REFLECTED CEILING PLAN
A1 - Arch	A110	ROOF SHEETING PLAN

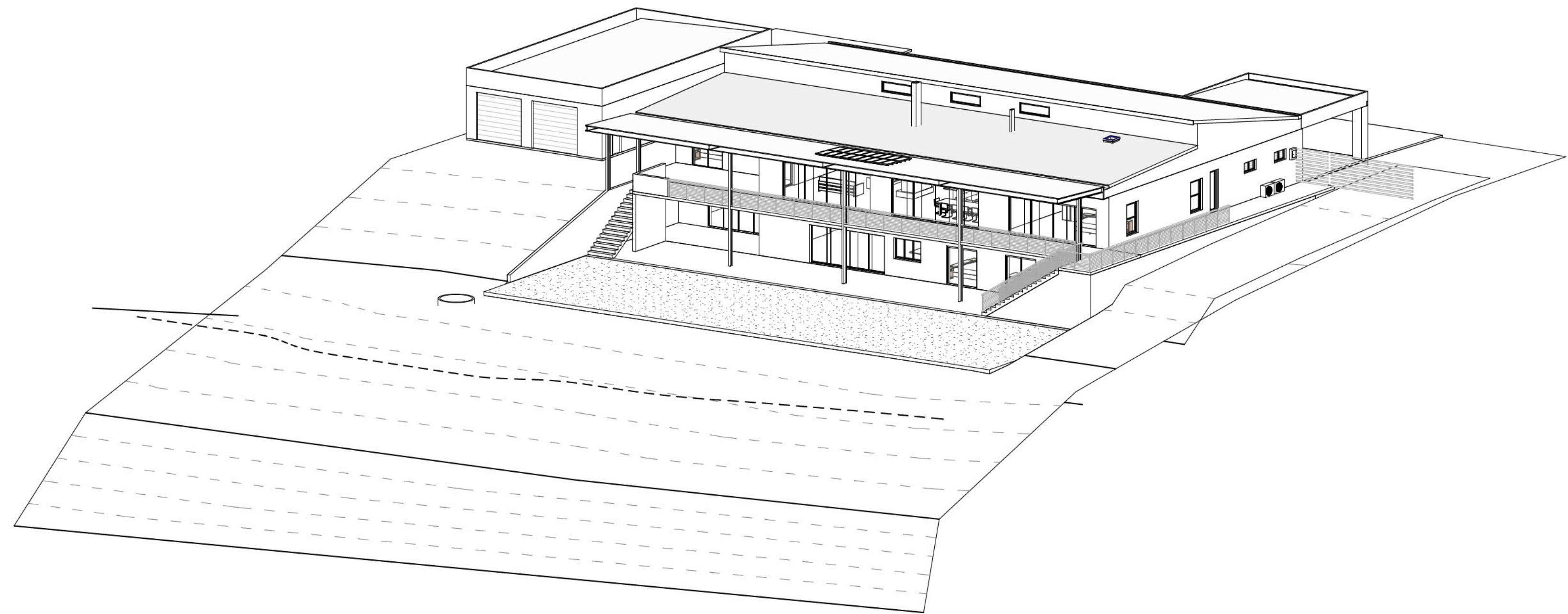
Energy Specification		
Location/Item	Insulation/Detail	
External Stud Walls (UNO)	R2.5 bulk	
External Walls (140mm Stud)	R4.0 bulk	
Internal Walls	R2.5 bulk to stud walls	
Under Roof sheet	R1.3 Anticon	
Flat Ceilings	R4.0 bulk	
Raked Ceilings	R3.5 bulk	
Slab on ground	175mm waffle pad with 100mm conc cover	
Intermediate/Suspended Floors	R2.5 bulk	
Exhaust Fans	Sealed	
Recessed LED Downlights	Sealed/Unvented	
Glazed Window & Door Specification		
	U value	SHGC
Throughout	2.6	0.53

WINDOW SCHEDULE									
Type Mark	Count	Description	Height	Width	Area	Glazing	Frame Material	Colour	
BW1218	1	3 Panel Bi-fold Window	1200	1800	2.16	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
DH1808	1	DOUBLE HUNG WINDOW	1800	800	1.44	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
DH1812	2	DOUBLE HUNG WINDOW	1800	1200	4.32	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FS0606	1	OX Sliding Window	600	600	0.36	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FS1518	1	FIXED SLIDING WINDOW	1500	1800	2.7	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FS1818	1	FIXED SLIDING WINDOW	1800	1800	3.24	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FSF1218	1	SFS SLIDING WINDOW	1200	1800	2.16	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FW0612	2	2 Panel Fixed Window	600	1200	1.44	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
FW0620	3	1 Panel Fixed Window	600	2000	3.6	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
SF1218	1	2 Panel Fixed Window	1200	1800	2.16	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
SFS0818	1	SFS SLIDING WINDOW	900	1800	1.62	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
SKY	1	SKYLIGHT	666	610	0.41846	DOUBLE GLAZED LOW E	THERMALLY BROKEN PC ALUMINIUM	MONUMENT	
Grand total:	16				25.61846				



ROOM SCHEDULE						
Level	Department	Name	Area	Perimeter	Floor Finish	
BASEMENT						
BALCONY						
BASEMENT	BALCONY	BOT ENTERTAINMENT	179.76 m <sup>2</sup>	80.26	NON SLIP CONCRETE	
BALCONY: 1			179.76 m <sup>2</sup>	80.26		
ROOM						
BASEMENT	ROOM	BATH	11.54 m <sup>2</sup>	17.35	TILE	
BASEMENT	ROOM	BED 5	18.59 m <sup>2</sup>	17.50	CARPET	
BASEMENT	ROOM	BED 6	19.37 m <sup>2</sup>	19.35	CARPET	
BASEMENT	ROOM	BOT LIVING	101.96 m <sup>2</sup>	52.22	TILE	
BASEMENT	ROOM	GYM / GAMES	34.29 m <sup>2</sup>	24.50	COMMERCIAL CARPET	
BASEMENT	ROOM	POOL STORE	16.71 m <sup>2</sup>	21.18	NON SLIP CONCRETE	
BASEMENT	ROOM	STUDY	25.33 m <sup>2</sup>	23.08	TILE	
BASEMENT	ROOM	WET ROOM	10.93 m <sup>2</sup>	14.93	TILE	
BASEMENT	ROOM	WIR #5	4.42 m <sup>2</sup>	8.74	CARPET	
ROOM: 9			243.15 m <sup>2</sup>	198.85		
BASEMENT: 10			422.91 m <sup>2</sup>	278.11		
GL - FFL						
BALCONY						
GL - FFL	BALCONY	BBQ AREA	50.77 m <sup>2</sup>	30.16	NON SLIP CONCRETE	
GL - FFL	BALCONY	CARPORT	50.86 m <sup>2</sup>	28.87	NON SLIP CONCRETE	
GL - FFL	BALCONY	EAST VERANDAH	67.40 m <sup>2</sup>	52.21	NON SLIP CONCRETE	
GL - FFL	BALCONY	NORTH VERANDAH	52.00 m <sup>2</sup>	53.31	NON SLIP CONCRETE	
GL - FFL	BALCONY	WEST VERANDAH	68.88 m <sup>2</sup>	57.93	NON SLIP CONCRETE	
BALCONY: 5			290.92 m <sup>2</sup>	222.48		
ROOM						
GL - FFL	ROOM	BATH	13.27 m <sup>2</sup>	20.46	TILE	
GL - FFL	ROOM	BED 2	16.11 m <sup>2</sup>	17.40	CARPET	
GL - FFL	ROOM	BED #3	23.17 m <sup>2</sup>	19.26	CARPET	
GL - FFL	ROOM	BED #4	18.34 m <sup>2</sup>	20.03	CARPET	
GL - FFL	ROOM	BUTLERS PANTRY	15.23 m <sup>2</sup>	15.94	TILE	
GL - FFL	ROOM	DINING	23.71 m <sup>2</sup>	20.12	TILE	
GL - FFL	ROOM	ENSUITE	15.89 m <sup>2</sup>	26.18	TILE	
GL - FFL	ROOM	ENSUITE #3	9.85 m <sup>2</sup>	17.32	TILE	
GL - FFL	ROOM	FOYER	54.88 m <sup>2</sup>	59.94	TILE	
GL - FFL	ROOM	GARAGE	58.72 m <sup>2</sup>	33.99	NON SLIP CONCRETE	
GL - FFL	ROOM	HALL NORTH	6.29 m <sup>2</sup>	13.63	TILE	
GL - FFL	ROOM	HALL SOUTH	14.03 m <sup>2</sup>	23.61	TILE	
GL - FFL	ROOM	KITCHEN	14.70 m <sup>2</sup>	15.80	TILE	
GL - FFL	ROOM	LAUNDRY	19.15 m <sup>2</sup>	17.82	TILE	
GL - FFL	ROOM	LINEN #1	2.29 m <sup>2</sup>	6.76	TILE	
GL - FFL	ROOM	LINEN #2	2.13 m <sup>2</sup>	6.50	TILE	
GL - FFL	ROOM	LOUNGE	80.80 m <sup>2</sup>	35.68	TILE	
GL - FFL	ROOM	MASTER BED	34.82 m <sup>2</sup>	31.30	CARPET	
GL - FFL	ROOM	OFFICE	12.67 m <sup>2</sup>	15.71	TILE	
GL - FFL	ROOM	WC #1	3.40 m <sup>2</sup>	7.69	TILE	
GL - FFL	ROOM	WC #2	3.51 m <sup>2</sup>	8.00	TILE	
GL - FFL	ROOM	WIR #1	13.90 m <sup>2</sup>	15.89	CARPET	
GL - FFL	ROOM	WIR #3	5.87 m <sup>2</sup>	10.16	CARPET	
ROOM: 23			463.31 m <sup>2</sup>	459.49		
SHED						
GL - FFL	SHED	SHED	148.99 m <sup>2</sup>	51.08	NON SLIP CONCRETE	
SHED: 1			148.99 m <sup>2</sup>	51.08		
GL - FFL: 29			901.23 m <sup>2</sup>	733.04		
Grand total: 39			1324.13 m <sup>2</sup>	1012.16		

DOOR SCHEDULE							
Level	Type Mark	Count	Description	Height	Width	Frame Material	Comments
BASEMENT	DW820	2	820 TIMBER DOOR	2040	820	TIMBER	SOLID TIMBER CORE
BASEMENT	HE820	3	INTERNAL TIMBER DOOR	2340	820	TIMBER	SOLID TIMBER CORE
BASEMENT	PD2421	2	SLIDING TIMBER CAVITY DOOR	2340	2100	PC ALUMINIUM	SOLID TIMBER CORE
BASEMENT	PD2424	1	SLIDING TIMBER CAVITY DOOR	2340	2400	PC ALUMINIUM	SOLID TIMBER CORE
BASEMENT	RS012	1	XX ROBE SLID NG DOOR	2100	1600	PC ALUMINIUM	LAMIWOOD
BASEMENT	RS02121	1	XX ROBE SLID NG DOOR	2100	2100	PC ALUMINIUM	LAMIWOOD
BASEMENT	SG02220	2	XF SLIDING GLASS DOOR	2200	2000	PC ALUMINIUM - THERMALLY BROKEN	DOUBLE GLAZING
BASEMENT	SG02240	1	SLIDING GLASS DOOR	2200	4000	PC ALUMINIUM	DOUBLE GLAZING
BASEMENT	SG02250	1	SLIDING GLASS DOOR	2200	5000	PC ALUMINIUM	DOUBLE GLAZING
GL - FFL	CS1624	1	SLIDING TIMBER CAVITY DOOR	2340	1640	TIMBER	SOLID TIMBER CORE
GL - FFL	D820	1	INTERNAL TIMBER DOOR	2040	820	TIMBER	SOLID TIMBER CORE
GL - FFL	ENT	1	MAIN ENTRANCE FEATURE DOOR	2400	1800	PC ALUMINIUM - THERMALLY BROKEN	TBA FEATURE
GL - FFL	GP0820	2	GLASS PANEL EXTERNAL DOOR	2400	820	PC ALUMINIUM - THERMALLY BROKEN	DOUBLE GLAZING
GL - FFL	GPLD	1	GARAGE PANEL LIFT DOOR	2400	6000	PC ALUMINIUM	TIMBER ALUMINIUM
GL - FFL	HE820	14	INTERNAL TIMBER DOOR	2340	820	TIMBER	SOLID TIMBER CORE
GL - FFL	HECS820	4	SINGLE CAVITY SLID NG DOOR	2340	820	TIMBER	SOLID TIMBER CORE
GL - FFL	HRSD3	1	XXX ROBE SLIDING DOOR	2340	2400	PC ALUMINIUM	LAMIWOOD
GL - FFL	RD2416	1	XX ROBE SLID NG DOOR	2340	1600	PC ALUMINIUM	LAMIWOOD
GL - FFL	RS02121	3	XX ROBE SLID NG DOOR	2100	2100	PC ALUMINIUM	LAMIWOOD
GL - FFL	SD2421	2	XXX ROBE SLIDING DOOR	2340	2100	PC ALUMINIUM	LAMIWOOD
GL - FFL	SG02220	2	XF SLIDING GLASS DOOR	2200	2000	PC ALUMINIUM - THERMALLY BROKEN	DOUBLE GLASS PANEL LOW E
GL - FFL	SG02258	3	FXFX SLIDING GLASS DOOR	2200	5800	PC ALUMINIUM - THERMALLY BROKEN	DOUBLE GLASS PANEL LOW E
GL - FFL	SPLD	4	SHED PANEL LIFT DOOR	2700	3000	PC ALUMINIUM	TIMBER ALUMINIUM
Grand total:	54						

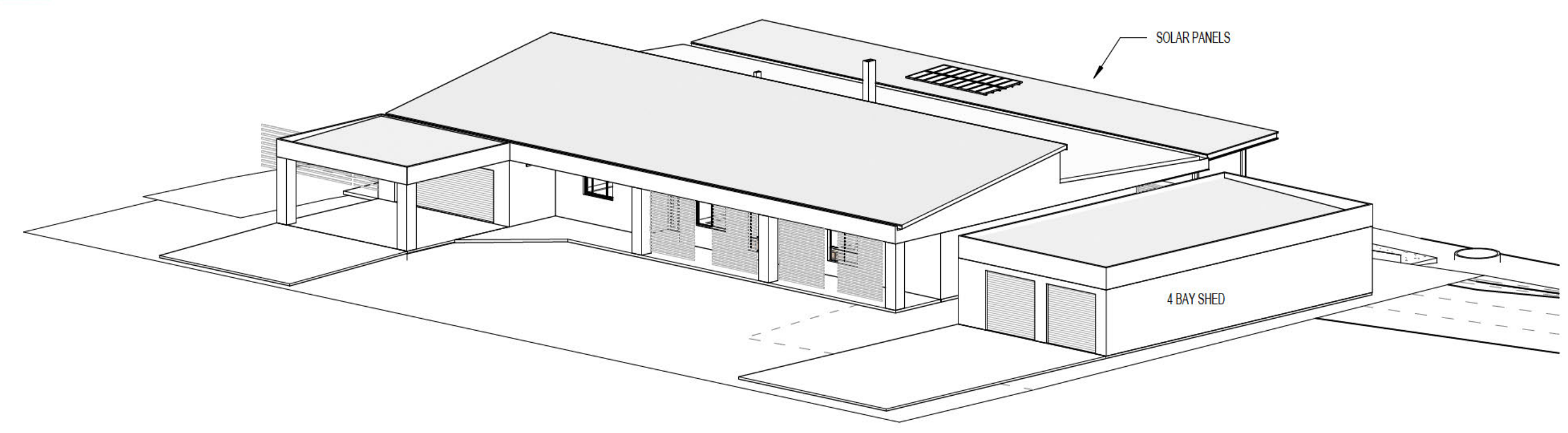


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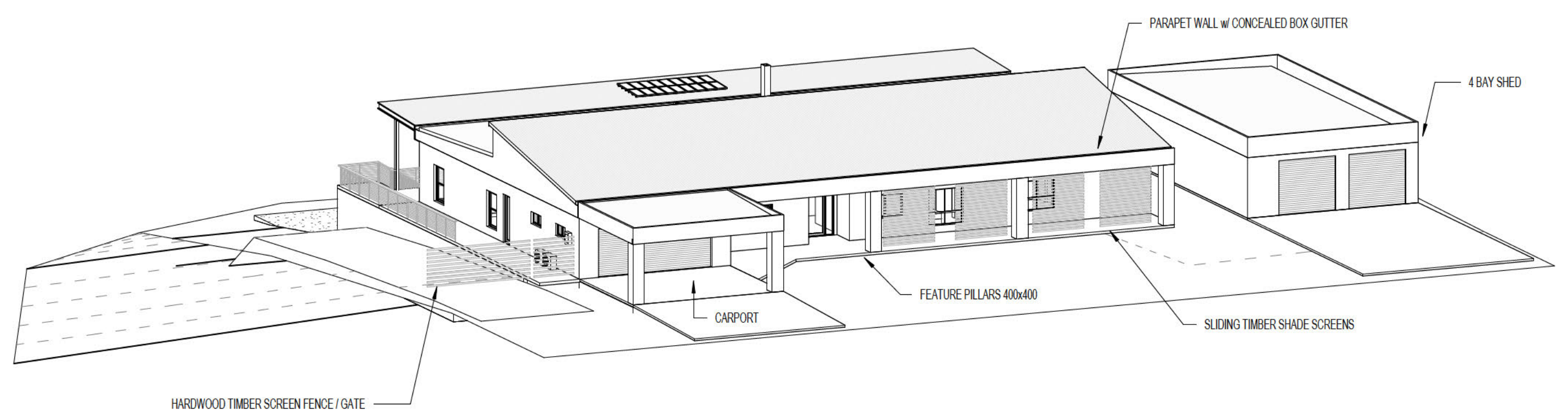
REGION	COROWA				
LOCATION	134 RIVER ST COROWA NSW				
PROJECT NAME	PROPOSED NEW DWELLING				
DRAWING	TITLE SHEET				
LOT No.	DP No.	SHEET No.	OF	AMEND.	SHEET SIZE
134	532072/453	A101	10	0	A1

V16	REVIEW ISSUE	SO	1.224	ISKO
No.	DESCRIPTION	INT.	DATE	DEPT/COMPANY
AMENDMENTS				

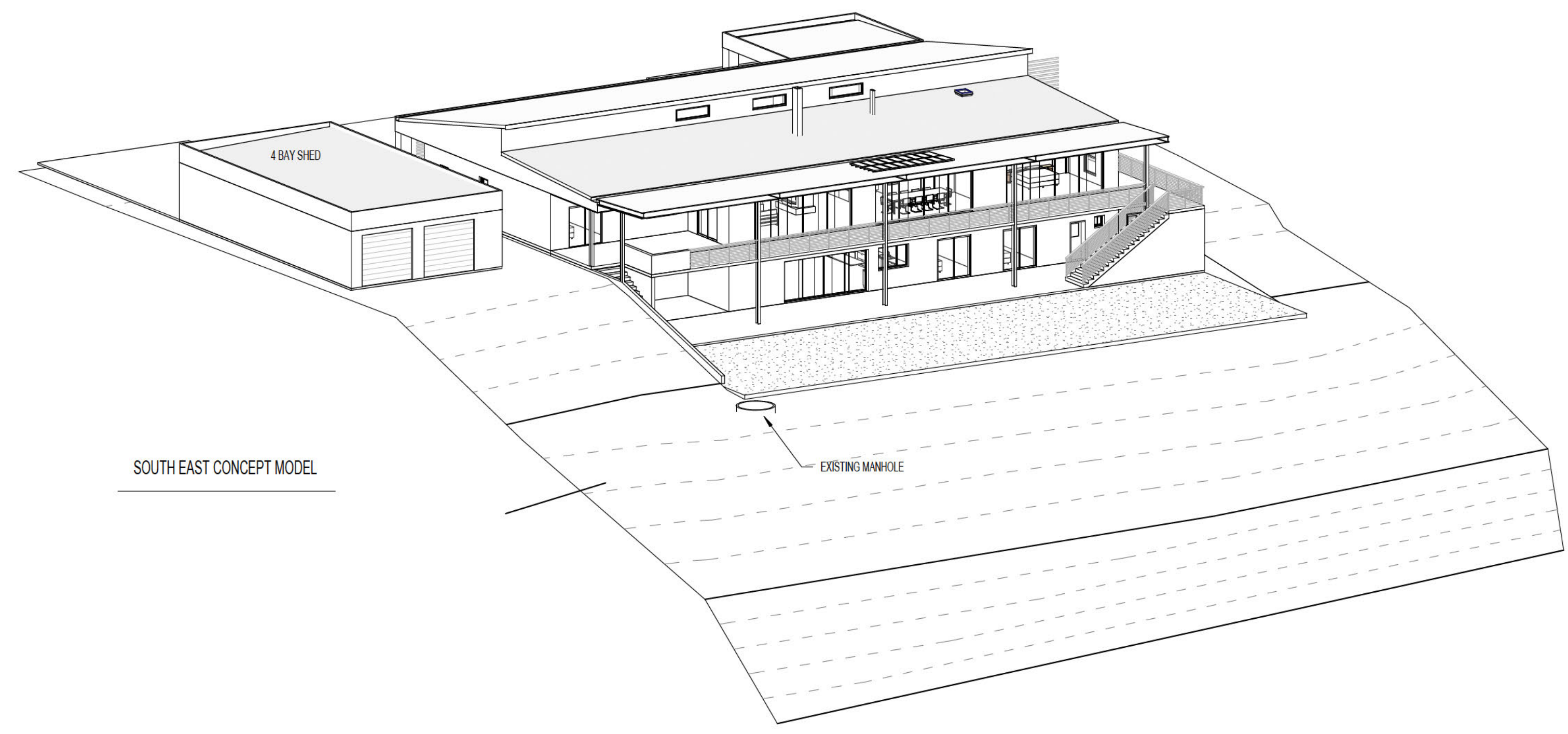




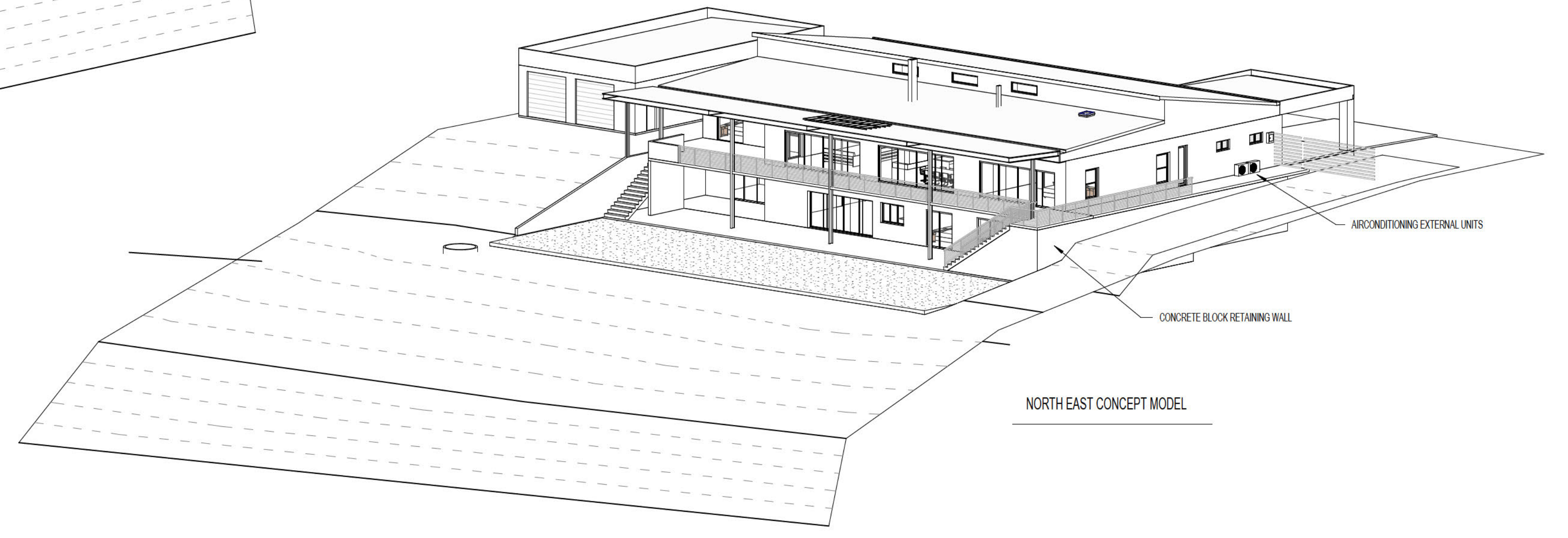
SOUTH WEST CONCEPT MODEL



NORTH WEST CONCEPT MODEL



SOUTH EAST CONCEPT MODEL



NORTH EAST CONCEPT MODEL

**ISKO**  
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 isko777@gmail.com  
 PO Box 280 COROWA 2646  
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REGION	COROWA				
LOCATION	134 RIVER ST COROWA NSW				
PROJECT NAME	PROPOSED NEW DWELLING				
DRAWING	CONCEPT MODELS				
LOT No.	DP No.	SHEET No.	OF	AMEND.	SHEET SIZE
134	5320721453	A102	10	0	A1

V16	REVIEW ISSUE	SO	1.2.24	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				



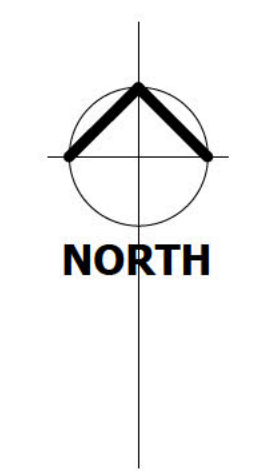


**BASIC COMMITMENTS**

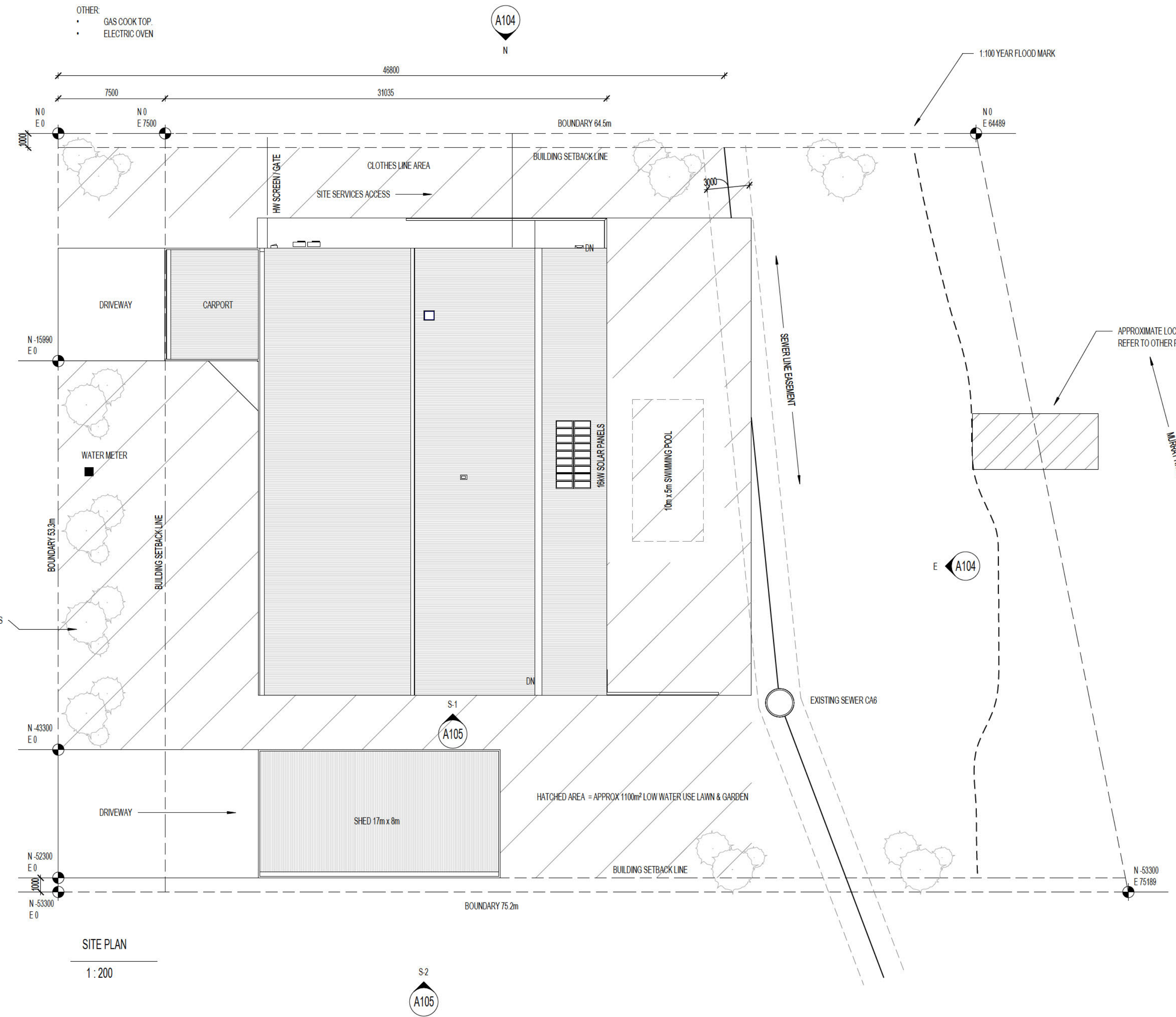
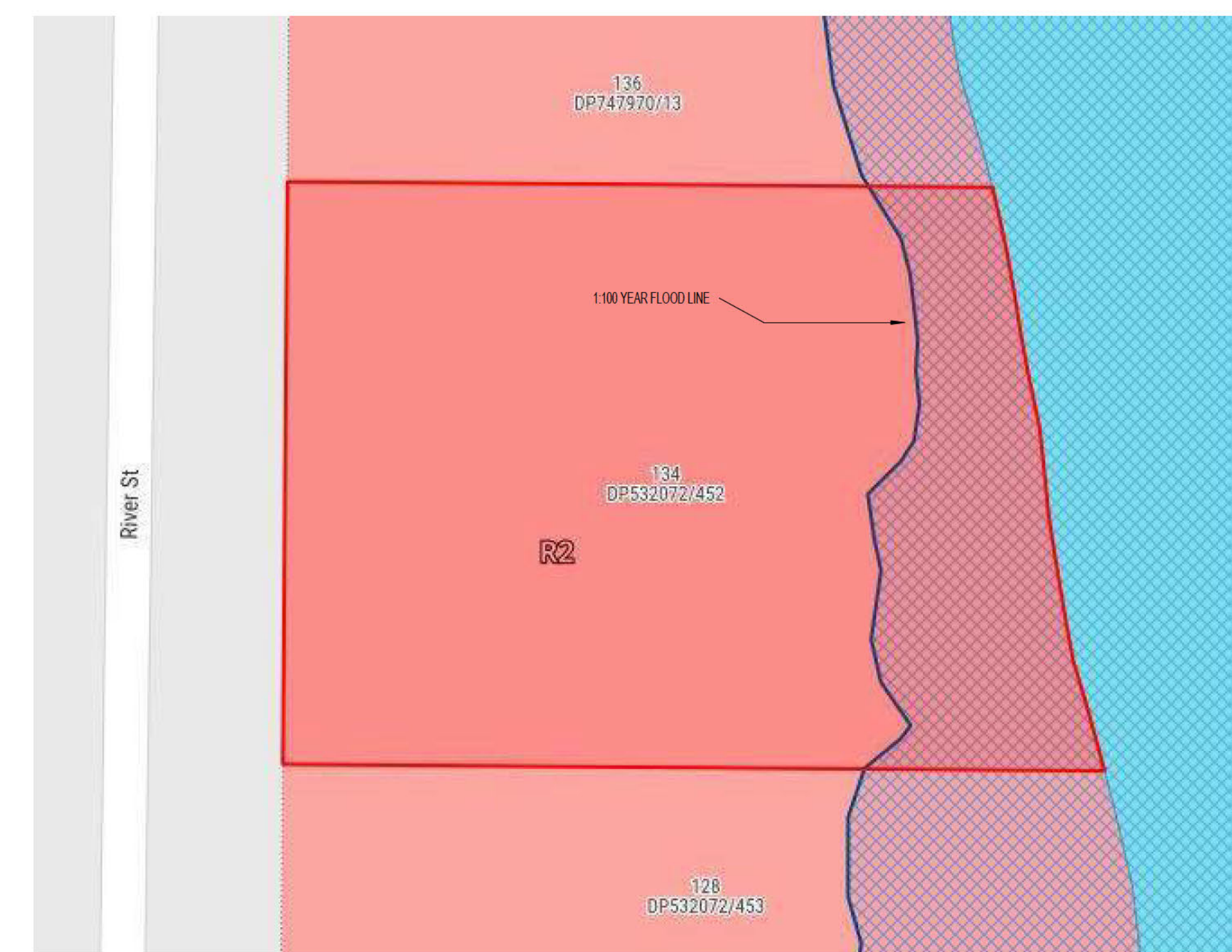
- LANDSCAPE**
- SITE AREA 3723m<sup>2</sup>
  - GARDEN & LAWN TOTAL AREA 1100m<sup>2</sup>
  - LANDSCAPE, LOW WATER USE INDIGENOUS PLANT SPECIES 687m<sup>2</sup>
- FIXTURES:**
- SHOWER HEADS MINIMUM 4 STAR RATING
  - TOILETS MINIMUM 5 STAR RATING
  - TAPS MINIMUM 5 STAR RATING
  - BASINS MINIMUM 5 STAR RATING
- ALTERNATIVE WATER:**
- TOWN WATER SUPPLY
  - RAIN WATER TANK 10K LITRE
  - SWIMMING POOL MAXIMUM 80ML WATER CAPACITY
- HOT WATER:**
- SOLAR HWI, GAS BOOSTED w/ ELECTRIC HEAT BACKUP
  - SWIMMING POOL SOLAR PUMP ONLY, SINGLE SPEED WITH TIMER
- HEATER AND COOLING SYSTEM:**
- DUCTED AC SYSTEM MIN 5 STAR RATING
  - GAS HEATER LOCATED IN LOUNGE / LIVING AREA
- ALTERNATIVE ENERGY:**
- ROOF MOUNTED 18KW SOLAR SYSTEM
  - SOLAR POOL HEATER
  - SWIMMING POOL SOLAR PUMP ONLY, SINGLE SPEED WITH TIMER
- VENTILATION:**
- EXHAUST FANS DUCTED TO OUTSIDE ATMOSPHERE, INTERGRATED ON/OFF SWITCH
  - RANGE HOOD DUCTED TO OUTSIDE ATMOSPHERE
- OTHER:**
- GAS COOK TOP
  - ELECTRIC OVEN

**SITE ANALYSIS**

SITE AREA	3723m <sup>2</sup>
GARDEN & LAWN TOTAL AREA	1100m <sup>2</sup>
LANDSCAPE, LOW WATER USE INDIGENOUS PLANT SPECIES	687m <sup>2</sup>
INTERNAL LIVING AREA	706m <sup>2</sup>
BALCONY / ENTERTAINING AREA	470m <sup>2</sup>
SHED AREA	130m <sup>2</sup>
TOTAL FLOOR AREA	1306m <sup>2</sup>
EAST SKILLION ROOF AREA	280m <sup>2</sup>
WEST SKILLION ROOF AREA	339m <sup>2</sup>
ENTERTAINMENT SKILLION ROOF AREA	142m <sup>2</sup>
SHED ROOF AREA	125m <sup>2</sup>
CARPORT	47m <sup>2</sup>
TOTAL ROOF AREA	930m <sup>2</sup>
SITE EXCAVATION APPROXIMATE	700m <sup>3</sup>
BUILDING CLASSIFICATION	CLASS 1a
SHED CLASSIFICATION	CLASS 10a



FEDERATION COUNCIL SITE SERVICES IMAGE CHECK WITH COUNCIL PRIOR TO EXCAVATION DIAL BEFORE YOU DIG



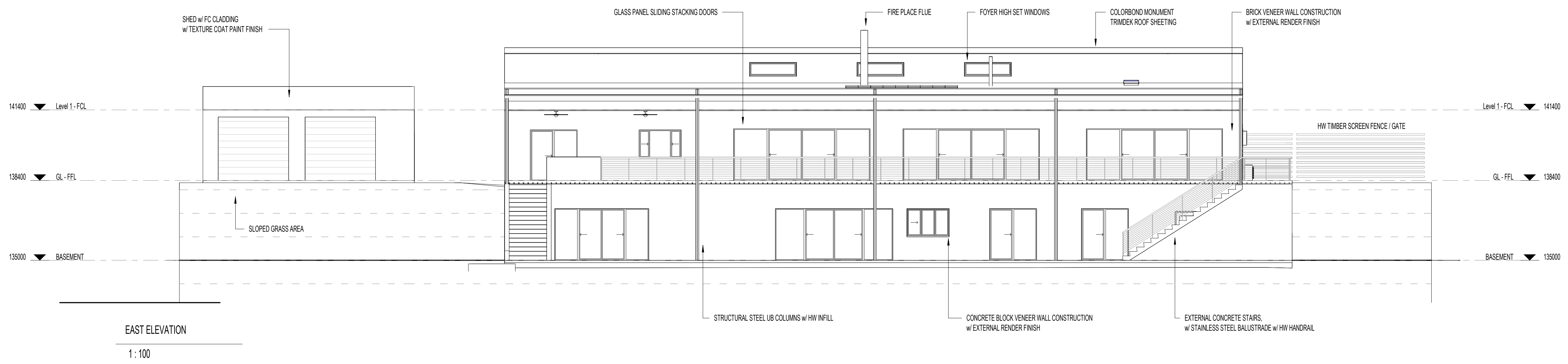
SITE PLAN  
1:200

V16	REVIEW ISSUE	SO	1.2.24	ISKO
No.	DESCRIPTION	INT.	DATE	DEPT/COMPANY
AMENDMENTS				

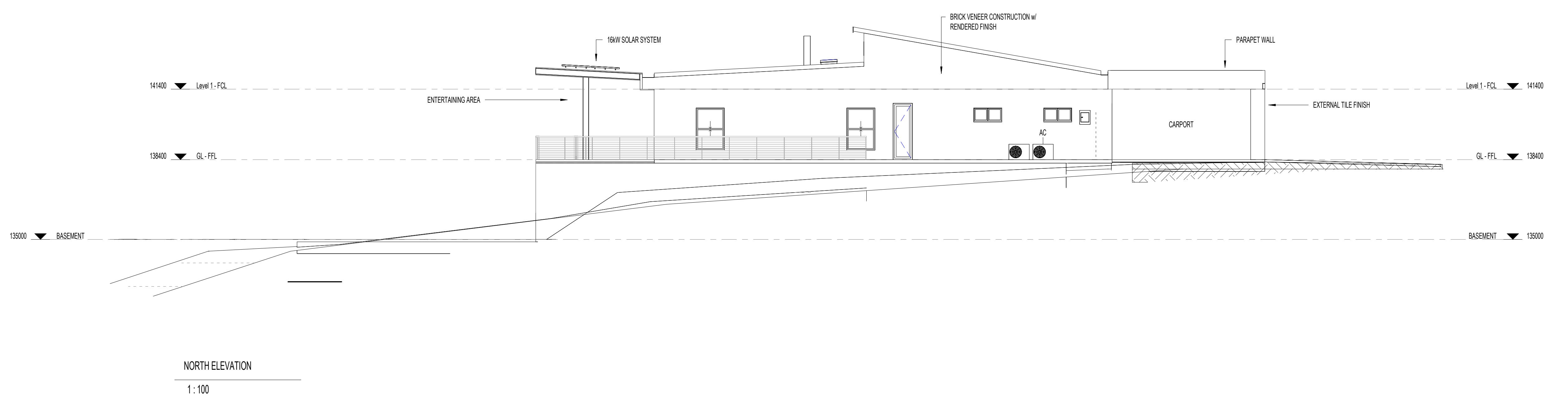
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**Building & Design**  
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 PO Box 280 COROWA 2646  
 0404 087 083

REGION	COROWA			
LOCATION	134 RIVER ST COROWA NSW			
PROJECT NAME	PROPOSED NEW DWELLING			
DRAWING	SITE PLAN			
LOT No.	DP No.	SHEET No.	AMEND.	SHEET SIZE
134	532072453	A103 OF 10	0	A1





EAST ELEVATION  
1:100



NORTH ELEVATION  
1:100

V16	REVIEW ISSUE	SO	1.2.24	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				

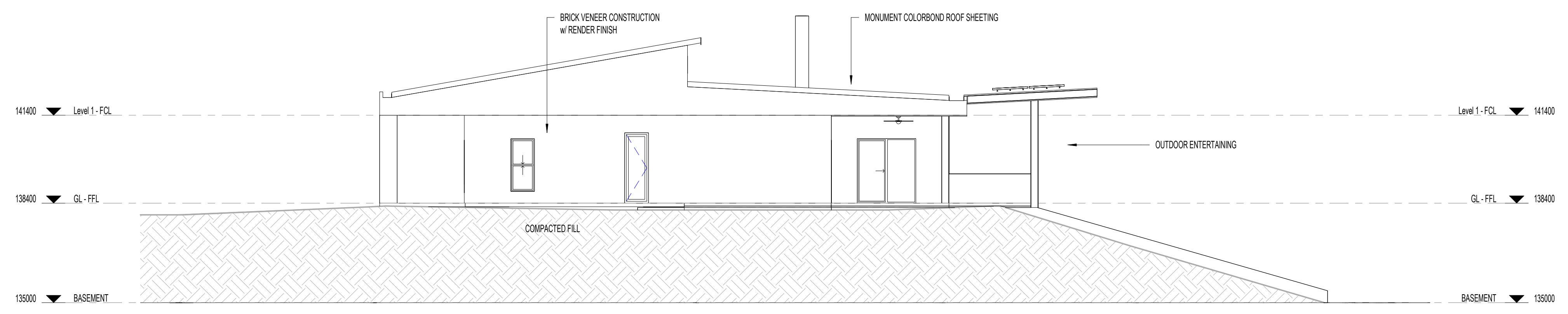
**ISKO**  
**Building & Design**  
 isko777@gmail.com  
 PO Box 280 COROWA 2646  
 0404 087 083

REGION	COROWA			
LOCATION	134 RIVER ST COROWA NSW			
PROJECT NAME	PROPOSED NEW DWELLING			
DRAWING	NORTH + EAST ELEVATION			
LOT No.	DP No.	SHEET No.	OF	SHEET SIZE
134	5320721453	A104	10	A1
DRAWING No.	AMEND.	SHEET SIZE		
	0	A1		

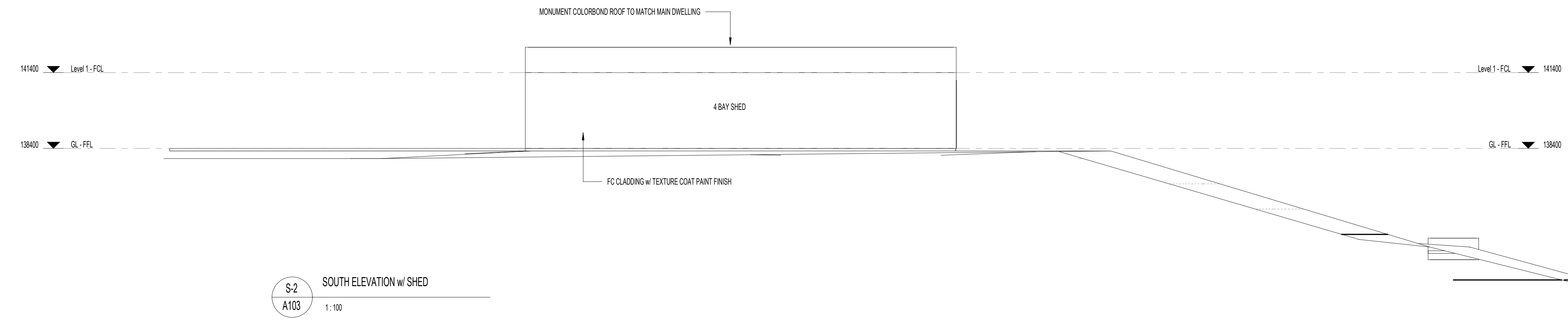




WEST ELEVATION  
1:100



S-1 SOUTH ELEVATION  
A103 1:100



S-2 SOUTH ELEVATION w/ SHED  
A103 1:100

V16	REVIEW ISSUE	SO	1.2.24	ISKO
No.	DESCRIPTION	INT.	DATE	DEPT/COMPANY
AMENDMENTS				

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 PO Box 280 COROWA 2646  
 0404 087 083

REGION	COROWA			
LOCATION	134 RIVER ST COROWA NSW			
PROJECT NAME	PROPOSED NEW DWELLING			
DRAWING	SOUTH & WEST ELEVATIONS			
LOT No.	DP No.	SHEET No.	AMEND.	SHEET SIZE
134	5320721453	A105 OF 10	0	A1