

## Applicant contact details

First given name	Libby
Other given name/s	
Family name	Williams
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	Yes
ABN	13659938986
ACN	659938986
Name	JOHNSON GROUP & CO PTY LTD
Trading name	JOHNSON GROUP & CO PTY LTD
Is the nominated company the applicant for this application	Yes

## Owner/s of the development site

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them
Owner #	1
Title	
First given name	Nick
Other given name/s	
Family name	Holloway
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Owner #	2
Title	
First given name	Merrin
Other given name/s	
Family name	Holloway
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

## Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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## Developer details

ABN	
ACN	

Name	
Trading name	
Address	
Email Address	

#### Development details

Application type	Development Application
Site address #	1
Street address	176 JUDE STREET HOWLONG 2643
Local government area	FEDERATION
Lot / Section Number / Plan	11/-/DP1205036 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning R1: General Residential Height of Building NA Floor Space Ratio (n:1) NA Minimum Lot Size 550 m <sup>2</sup> Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

#### Proposed development

Selected common application types	Erection of a new structure
Selected development types	Shed
Description of development	Construction of a 6m x 8.3m steel framed colorbond sheeted shed49
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	50
Total site area (m2)	0
What is the estimated development cost, including GST?	\$32,980.00
Estimated development cost	\$32,980.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

#### Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

#### Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	



## Sustainable Buildings

Is the development exempt from the <a href="#">State Environmental Policy (Sustainable Buildings) 2022</a> Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

## Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees.

Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

Company Name	Fair Dinkum Builds Albury Wodonga
ABN	13 659 938 986
ACN	
Trading Name	Fair Dinkum Builds Albury Wodonga
Email address	
Billing address	

## Application documents

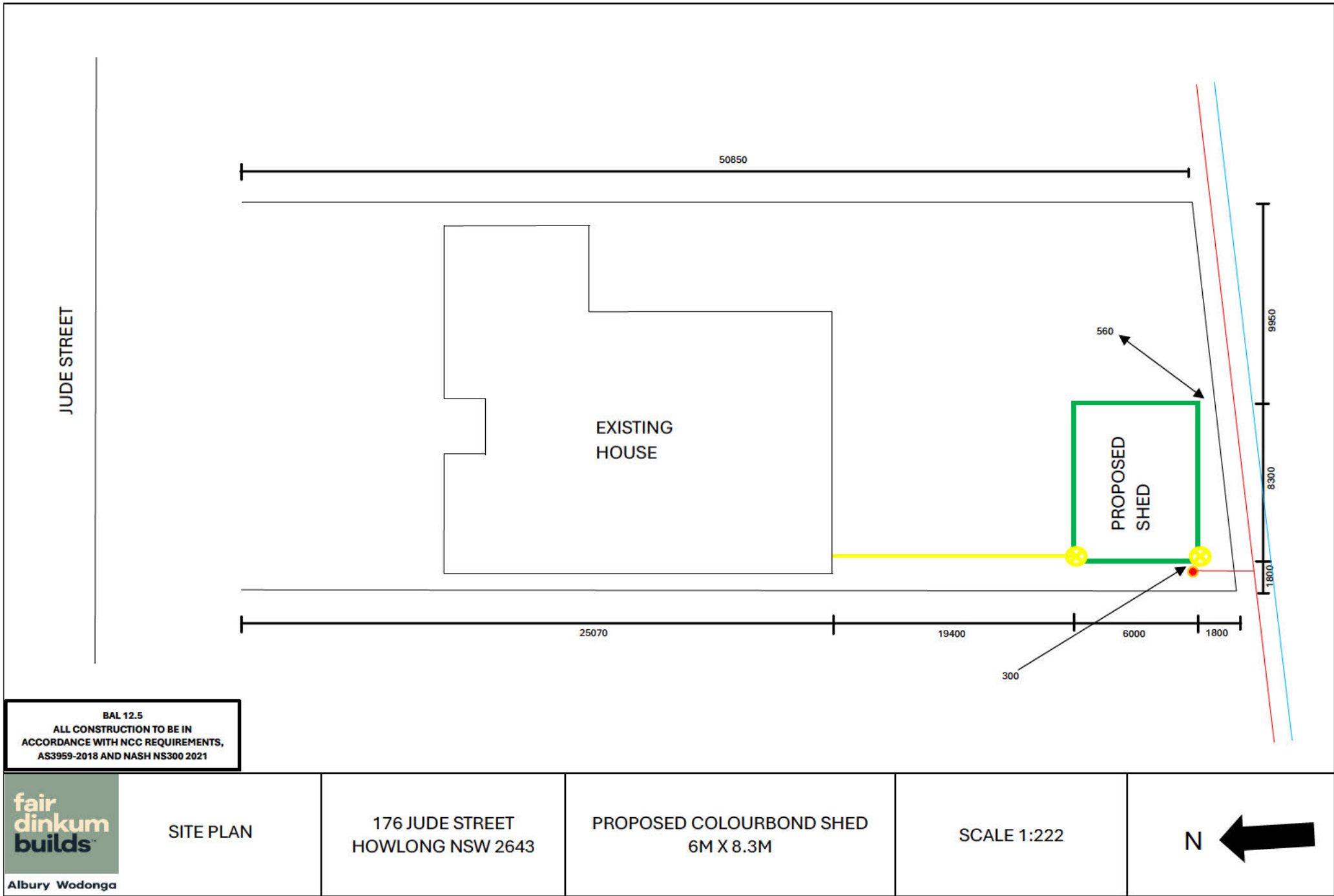
The following documents support the application.



















Document type	Document file name
Architectural Plans	ENGINEERING PLANS - 176 JUDE STREET - HOWLONG
Other	SIGNED BUILDING CONTRACT - 176 JUDE STREET - HOWLONG (signed)
Owner's consent	SIGNED OWNERS CONSENT FORM - 176 JUDE STREET - HOWLONG (signed)
Site Plans	SITE PLAN - 176 JUDE STREET - HOWLONG
Statement of environmental effects	STATEMENT OF ENVIRONMENTAL EFFECTS - 176 JUDE STREET -- HOWLONG

## Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	



KEY	
	PROPOSED SHED
	SEWER MANHOLE
	SEWER MAIN
	SEWER CONNECTION POINT
	PROPOSED CONCRETE AREA (100MM THICK)
	FIRE RATED WALL 60/60/60
	STORMWATER MAIN
	STORMWATER MANHOLE
	PROPOSED DOWNPIPE LOCATION
	STORMWATER CONNECTION
	WATER WAYS
	DAM
	EXISTING TREE TO BE RETAINED
	EXISTING TREE TO BE REMOVED
	EXISTING WATER TANK
	TOWN WATER SUPPLY
	RURAL FENCING
	CONNECTION TO EXISTING STORMWATER

#### FFL – SHED

Will be 100mm higher than existing ground level at the rear of the property.

All storm water will be connected to existing storm water from the house.

## BAL 12.5 NOTES:

### GENERAL NOTES:

- BAL 12.5 is primarily concerned with the protection from ember attack and radiant heat up to and including 12.5 kW/m<sup>2</sup>, where the site is less than 100m from the source of bushfire attack.
- Requirements are to be as set out in AS3659 (2018). These following notes consider the building to be all steel products for key elements. Special attention should be given to any further local code requirements.

### FLOORS:

- For slabs on ground there are no construction requirements set out in AS3959.

### EXTERNAL WALLS:

- The part of an external wall surface that is less than 400mm from the ground or above decks / roofs, awnings and similar shall be made from non-combustible material (steel)
- All joists in the external surface of the walls shall be covered, sealed butt jointed or overlapped to avoid gaps greater than 2mm, alternatively sarking maybe applied over the frame prior to fixing cladding.
- Vents and weepholes in external walls shall be screened with mesh made from corrosion resistant materials and a maximum of aperture of 2mm.

### EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS:

- Bushfire shutters shall be made from non-combustible material or a bushfire resisting timber.
- Windows shall either be completely protected with a compliant bushfire shutter or protected externally by screens with a mesh with a maximum aperture of 2mm, made from corrosion resistant material. If glazing is within 400mm from the ground or less than 400mm above decks / roofs, the glazing shall be grade A safety glass minimum 4mm.
- Doors such as side hung external doors, shall be either protected with a bush fire shutter or meet the following requirements: (a) Be non-combustible, (b) If solid timber, have a minimum thickness of 35mm from the first 400mm above the threshold and protected by a metal frame screen door with a mesh having an aperture of 2mm made from non-corrosive material. (c) Fully framed glazed door with framing made from non-combustible materials.
- Doors incorporating glazing, shall have glazing be toughened glass minimum thickness of 6mm. If glazing is less than 400mm from ground / deck or surface, the portion of glazing is required to be protected by a non-corrosive mesh with a minimum aperture of 2mm. Doors and frames shall be made from either non-combustible material (steel or bushfire resistant timber) doors shall be tight fitting to frames, weather strips shall also be installed at the base of side hung doors.
- Sliding Doors should comply with similar requirements to side hung doors, if incorporate glazing, the glazing shall be toughened glass (6mm) unless screened with a mesh with a minimum aperture of 2mm made from non-corrosive material. Sliding doors shall be tight fitting to frames.
- The following applies to the bottom 400mm portion, vehicle access doors shall be non-combustible, panel-lift or side hung doors protected with suitable weather strips and guide tracks, with a minimum gap no greater than 2mm. Roller doors shall have guide tracks with gaps no greater than 2mm and shall be fitted with nylon brushes that is contact with the door. Any vehicle access door shall not include ventilation slots.

### ROOFS (INCLUDING VERANDA, ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIA, GABLES, GUTTERS AND DOWNPIPES):

- Roof material and coverings shall be non-combustible; roof wall and any other roof junctions (gable) shall be sealed to prevent any openings greater than 2mm. Any openings such as ventilations shall be fitted with ember guards or a mesh with minimum aperture of 2mm made of non-corrosive resistant material.
- Sheet roofs shall either be fully sarked or not have any gaps (2mm) sealed at wall lines, valleys, hips and ridges by non-combustible fire rated material including material wool, 2mm mesh or other non-combustible material.
- Veranda, carports and awning roofs, if forming part of the main roof, it is required to meet the requirements of the main roof. If separate roof space, materials are to be non-combustible. If bush fire resisting timber is being used underside to be lined with fibre cement sheeting minimum thickness of 6mm and material complying with AS1530.8.1.
- Roof penetrations such as ventilators, aerials and support for solar collectors shall be sealed at the roof to prevent gaps greater than 2mm, material used to flash the penetration shall be non-combustible. If glazing / roof lights installed seek further advise.
- Downpipes do not have specific requirements. Gutters shall be non-combustible material as to any valley or leaf guards.
- Eaves linings, fascia's and gables joints may be sealed with plastic joining strips or storm moulds, gables shall comply with wall requirements, eave penetrations shall be protected as per roof penetration, any ventilation openings greater than 2mm shall be protected with mesh (aperture maximum 2mm and non-corrosive material).

### VERANDAS, DECKS AND LANDINGS:

- For unenclosed floor spaces, the supports, framing and decking shall be non-combustible material, or a material tested and complying with AS1530 or combination of both.
- Handrails balustrades less than 125mm from glazing are required to be non-combustible material, no requirements the greater than 125mm.





## Statement of Environmental Effects

Accompanying a development application for

**Construction of a shed in the rear of the property**

**At**

**Lot 11 DP1205036**

**176 Jude Street, Howlong NSW 2643**

### DESCRIPTION OF DEVELOPMENT

The proposal consists of the construction of a 6m by 8.3m steel frame colour-bond sheeted shed in the rear South-Western side of the property.

### SITE DESCRIPTION

**Lot** 11 DP1205036

**Address:** 176 Jude Street, Howlong NSW 2643

**Lot Size:** 1033m<sup>2</sup>

Zone R1

### IMPACTS AND HAZARDS

#### Landowner's Consent

Do you have landowner's consent for the making of the application? ☐ No ☒ Yes

#### Heritage

Heritage Conservation Item ☒ No ☐ Yes

Heritage Conservation Area ☒ No ☐ Yes

#### Bushfire

Is the site bushfire prone? ☒ No ☐ Yes

#### Flooding

Is the site flood prone? ☒ No ☐ Yes

#### Contaminated land

Have there been any activities or historic uses that could have contaminated the site to the best of your knowledge? ☒ No ☐ Yes

#### Easements, topography

Describe the subject land including any constraints such as easements, sloping land, etc.,?

☒ No ☐ Yes

There is a sewer main and stormwater main on the other side of the rear boundary property.

#### Services

Are services such as water, wastewater, electricity, etc available and adequate for the proposed development. ☒ Yes ☐ No

How will stormwater be disposed of - existing Council drainage system or other?

All storm water from the proposed shed will be connected to the existing stormwater from the house, as stated on the site plan.

How will sewerage be disposed of - to existing sewer or via onsite system (ie, septic tank)? Of an onsite system is proposed, have you had a Land Capability Assessment prepared? There will be no sewer disposal from the proposed shed.



**Trees/Vegetation**

Will the proposal require/result in removal of Trees or vegetation (including those on site or in the street)? ☒ No ☐ Yes

**Impacts to neighbours**

Will the proposal overshadow neighbouring dwellings? ☒ No ☐ Yes

There is little to no overshadowing to neighbouring dwellings from this proposal.

Will the proposal impact on privacy on neighbouring dwellings? ☒ No ☐ Yes

The shed is not considered to impact the privacy of the neighbouring properties, there are no windows or openings located within these property boundaries.

**Land use**

What is the current use of the site? Residential

What was the previous use of the site (if known)? Residential

Are there any existing structures on site? Yes 1 dwelling

**Access**

What are the existing arrangements for vehicular and pedestrian access?

There are no adverse effects on the pedestrian or vehicular access to the property. The proposed shed will provide adequate additional car and general storage for the property which will provide the benefit of less congestion within Jude Street and the pedestrian access for the Street.

What are the proposed arrangements for vehicular and pedestrian access? During the construction all vehicles will use the provided car parking space within the property along with 1 street parking located in Jude Street.

**Aboriginal Cultural Heritage**

If your proposal relates to an area of known or potential Aboriginal heritage and archaeology, include an independent assessment of the impact of your proposal on Aboriginal heritage and archaeology.

N/A