



STATEMENT OF ENVIRONMENTAL EFFECTS - SMALL SCALE RESIDENTIAL AND CHANGE OF USE

Standard form for minor developments only.

A COMPLETED STATEMENT OF ENVIRONMENTAL EFFECTS (SEE) IS REQUIRED TO ACCOMPANY ALL DEVELOPMENT APPLICATIONS EXCEPT INTERGRATED DEVELOPMENTS WHICH REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT (EIS).

ABOUT THIS FORM: This SEE template is designed to form an attachment to the Development Application. It can only be used for the following development types:

- ✓ Dwellings, single storey in the R1, R2, RU1, RU5 and R5 zones.
- ✓ Single shops or commercial premises in the B1, B2 & B6 zones*
- ✓ Residential alterations and additions
- ✓ Ancillary residential buildings and structures such as, verandahs, carports, garages, sheds, pergolas, swimming pools.

* Please note that a heritage impact statement is required for all premises within the Heritage Conservation area. This will be required for the majority of developments in the commercial precinct of Corowa.

Developments not listed above may require a SEE with greater detail. Please contact Council for further information.

The SEE must address all impacts that are relevant to your proposal, with comment on how the development will control or mitigate the impact. No matter how minor the impact, please advise Council in this document.

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or you receiving an additional information request from Council.

APPLICATION DETAILS

Applicant:

CAMERON DARLING

APPLICANT'S DECLARATION: I/we declare to the best of my/our knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I/we acknowledge that the development application may be returned to me if information is found to be missing or inadequate.

Applicant Signature:

Cameron Darling

Date:

PROPERTY DETAILS

Property Name:

Unit/House No.:

59

Street Name:

FEDERATION AVE

Town:

COROWA

Postcode:

2646

Lot:

Section:

DP/SP:

PROPOSED DEVELOPMENT

Where applicable include a description of matters such as proposed buildings, proposed building materials, nominated colour scheme. Nature of use, staging of the development, details of any demolition and other works to be carried out in site.

FRONT DECK TO EXISTING DWELLING, SEMI-DETACHED STUDIO TO FRONT, SHED/CARPORT + PATIO/ALFRESCO TO REAR OF EXISTING DWELLING

PLANNING CONTROLS

Is your proposal permissible in the zone under Corowa LEP 2012 / Urana LEP 2011

☒ YES ☐ NO

Is your proposal consistent with the zone objectives?

☒ YES ☐ NO

Is your proposal in accordance with Corowa DCP 2013 / Urana DCP 2011

☒ YES ☐ NO

NOTE: If you answered no to any of the above questions please discuss your application with Council staff.

Are there any other planning controls relevant to your proposal

☐ YES ☒ NO

If yes, please list controls and how the application complies:

DESCRIPTION OF SITE

Include where applicable a description of the physical features of the site such as shape, slope, vegetation, waterways.

RECTANGLE SHAPED BLOCK WITH SLIGHT SLOPE FROM REAR OF PROPERTY TO STREET

What is the present use and previous use(s) of the site?

RESIDENTIAL

Is the development site subject to any of the following natural hazards?

Bushfire Prone

☐ YES ☒ NO

Flooding

☐ YES ☒ NO

Storm water inundation

☐ YES ☒ NO

NOTE: If the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines. For further information please consult the NSW Rural Fire Service website www.rfs.nsw.gov.au

How will you mitigate the impact of the natural hazards for this development?

IMPLEMENTATION OF SILT BARRIERS AND TEMPORARY FENCING WHERE REQUIRED. RAIN WATER TANK FITTED TO SHED / CARPORT, EXTRA DRAINAGE + STORM WATER PITS TO DIVERT WATER

Is the site constrained by any of the following? (Please refer to LEP Maps)

Terrestrial biodiversity

☒ YES ☐ NO

Riparian Land and Watercourses

☒ YES ☐ NO

Groundwater vulnerability

☒ YES ☐ NO

Wetlands

☒ YES ☐ NO

Item of Environmental Heritage or in conservation area *

☐ YES ☒ NO

How will you mitigate the impact of the development on these constraints?

SILT BARRIERS

*Note a Heritage Impact statement may be required. Please discuss with Council

What types of land use and development exist on the surrounding land?

RESIDENTIAL

CONTEXT AND SETTING – WILL THE DEVELOPMENT BE

Visually prominent in the surrounding area?

☐ YES ☒ NO

Inconsistent with the existing streetscape?

☐ YES ☒ NO

Out of Character with the surrounding area?

☐ YES ☒ NO

Inconsistent with surrounding land uses?

☐ YES ☒ NO

Vary a building line setback

☐ YES ☒ NO

If you answered yes to any of the above please provide details and justification for the proposal?

FLORA AND FAUNA - FOR THREATENED SPECIES PLEASE VISIT www.threatenedspecies.nsw.gov.au

Is the development likely to result in any form of air pollution (smoke, dust odours etc?) ☐ YES ☒ NO

Will the development result in the removal of any native vegetation from the site? ☐ YES ☒ NO

Is the development likely to have any impact on threatened species or native habitat? ☐ YES ☒ NO

If the answer is yes to either of the above questions it may be necessary to have a formal seven part test completed to assess the impact on threatened species – please contact Council for further information.

Comments

WASTE AND STORMWATER DISPOSAL

How will effluent be disposed of ☒ Sewer ☐ Septic

Will liquid trade waste be discharged to Council's sewer? ☐ YES ☒ NO

Will the Development result in any hazardous waste or other waste disposal issue? ☐ YES ☒ NO

How will stormwater (from roof and hard standing areas) be disposed of? ☒ Council System ☐ Other (Provide Details)

Details: STORMWATER CONNECTED TO COUNCIL SYSTEM OR RAINWATER TANK

Have all potential overland stormwater risks been considered in the design of the development? ☒ YES ☐ NO

Comments SILT BARRIERS TO BE INSTALLED TO COLLECT ANY POSSIBLE SOIL OR BUILDING MATERIAL RUN OFF DURING CONSTRUCTION

SOCIAL AND ECONOMIC IMPACTS

Will the proposal have any economic or social consequences in the area? ☐ YES ☒ NO

Has the development addressed safety, security or crime prevention issues? ☒ YES ☐ NO

Comments SITE WILL HAVE TEMPORARY FENCING WHERE REQUIRED, HOUSE FITTED WITH SECURITY CAMERA'S

OTHER RELEVANT MATTERS

Are there any other matters for consideration that you are aware of as developer?

PRIVACY, VIEWS AND OVERSHADOWING

Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space etc? ☐ YES ☒ NO

Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ YES ☒ NO

Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners, pump, bedroom and living room windows etc? ☐ YES ☒ NO

Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks, road or footpaths? ☐ YES ☒ NO

If yes, please provide details of issue. Some issues will require plans, i.e. overshadowing.

ACCESS, TRAFFIC AND UTILITIES

Is legal and practical access available to the development? ☒ YES ☐ NO

Will the development increase traffic movements/volumes? ☐ YES ☒ NO

If Yes by how much and what types of Vehicles?

Are additional access points to a road network required? ☐ YES ☒ NO

Has vehicle maneuvering and onsite parking been addressed in the design? ☒ YES ☐ NO

Is power, water, electricity, sewer and telecommunication service readily available to the site? ☒ YES ☐ NO

Comments

ENVIRONMENTAL IMPACTS

Is the development likely to result in any form of air pollution (smoke, dust odours etc)? ☐ YES ☒ NO

Does the development have the potential to result in any form of water pollution (i.e. sediment from runoff)? ☐ YES ☒ NO

Will the development have any noise impacts above background noise levels? (i.e. air conditioner units, pool pumps)? ☐ YES ☒ NO

Does the development involve any significant excavation or filling? ☐ YES ☒ NO

Could the development cause erosion or sediment runoff (including during construction)? ☐ YES ☒ NO

Is there a likelihood of the development resulting in site contamination? ☐ YES ☒ NO

Is the development considered to be environmentally sustainable (including provisions of BASIX certificate where required)? ☒ YES ☐ NO

Is the development situated in a heritage conservation area or likely to have an impact on any heritage item or item of cultural significance? ☐ YES ☒ NO

Is the development likely to disturb any aboriginal artifacts or relics? ☐ YES ☒ NO

Comments

Applicant contact details

First given name	CAMERON
Other given name/s	
Family name	DARLING
Contact number	
Email	
Address	
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are multiple owners of the development site and I am one of them
Owner #	1
Title	Mr
First given name	CAMERON
Other given name/s	
Family name	DARLING
Contact number	
Email	
Address	59 FEDERATION AVENUE COROWA 2646
Owner #	2
Title	Ms
First given name	LUCY-ANNE
Other given name/s	
Family name	KELLY
Contact number	
Email	
Address	

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	Yes
Provide details	

Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	59 FEDERATION AVENUE COROWA 2646
Local government area	FEDERATION
Lot / Section Number / Plan	4/-/DP706483 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	<p>Land Application LEP Corowa Local Environmental Plan 2012</p> <p>Land Zoning R1: General Residential</p> <p>Height of Building NA</p> <p>Floor Space Ratio (n:1) NA</p> <p>Minimum Lot Size 550 m²</p> <p>Heritage NA</p> <p>Land Reservation Acquisition NA</p> <p>Foreshore Building Line NA</p>

Proposed development

Selected common application types	<p>Alterations or additions to an existing building or structure</p> <p>Erection of a new structure</p>
Selected development types	<p>Semi-detached dwelling</p> <p>Garage, carport or carparking space</p> <p>Shed</p> <p>Balcony, deck, patio, terrace or verandah</p>
Description of development	Construction of new shed with attached carport as per plans, new outdoor alfresco/patio to rear of building, new deck and stairs to front entrance, new semi-detached studio with ensuite to front of house for visiting family and friends
Is the development proposed to be build-to-rent housing?	No
Does the development include affordable housing?	No
Dwelling count details	
Number of dwellings / units proposed	1
Number of storeys proposed	0
Number of pre-existing dwellings on site	1
Number of dwellings to be demolished	0
Existing gross floor area (m2)	98
Proposed gross floor area (m2)	171
Total site area (m2)	269
What is the estimated development cost, including GST?	\$330,000.00
Estimated development cost	\$300,000.00
Do you have one or more BASIX certificates?	No
Subdivision	
Number of existing lots	
Proposed operating details	

Number of staff/employees on the site	
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Number of parking spaces

Category of development	Car parking spaces	Motorcycle spaces	Bicycle spaces
Residential accommodation	4	0	0
Total	4	0	0

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No

Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	No
Has the proposed development been designed to enable any of the following sustainability measures?	<p>The minimisation of waste from associated demolition and construction, including by the choice and reuse of building materials</p> <p>A reduction in peak demand for electricity, including through the use of energy-efficient technology</p> <p>A reduction in the reliance on artificial lighting and mechanical heating and cooling through passive design</p> <p>The generation and storage of renewable energy</p>
Provide further detail on the general sustainability provisions and list any relevant documents that accompany this application	<p>The semi-detached studio and existing premises will be fitted with double glazed windows and doors, exterior walls to have Earthwool insulation bats R2.7 or above. Any concrete or brick removed from existing building during renovation will be re-purposed and used in landscaping.</p> <p>New studio to be fitted with skylights to reduce the need for lighting.</p> <p>New shed to have 10kw solar system fitted with batteries for power storage, shed to have rain water tank fitted for water storage for lawns and garden.</p>
Is the development seeking certification from a sustainability rating system?	No
Embodied emissions for non-residential developments	
Does the NABERS Embodied Emissions Materials Form accompany this application? This is a mandatory document for your development type.	No
Has a voluntary NABERS Agreement to Rate relating to embodied emissions been prepared for each prescribed large commercial development type?	No
Low Emissions Construction Technologies	
Describe any low emissions construction technologies incorporated in the development	N/A
Is the development designed to retain or reuse an existing building on site?	Yes
What percentage of the total development has been re-used?	33%
Is the development designed to use recycled materials from the site or elsewhere?	Yes
Provide details	Re-use of any bricks or concrete for landscaping
Has a whole of Life Cycle Analysis (LCA) been prepared for this development?	No
Other consideration for large commercial development	
Is the development a prescribed large commercial development that involves any of the following:	No

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees.

Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	CAMERON
Other given name(s)	MURRAY
Family name	DARLING
Contact number	0415609762
Email address	camerondarling@hotmail.com
Billing address	59 FEDERATION AVENUE COROWA 2646

Application documents

The following documents support the application.

Document type	Document file name
Cost estimate report	Cam Darling, 59 Federation, BUILD24 Quote
Environmental impact statement	59 Fed Environmental impact statement
NABERS Embodied Emissions Materials Form	Numbers NOT APPLICABLE
Site Plans	Cameron Darling 59 Federation Aveune - DA Issue Plans- V1
Statement of environmental effects	59 Fed Environmental impact statement

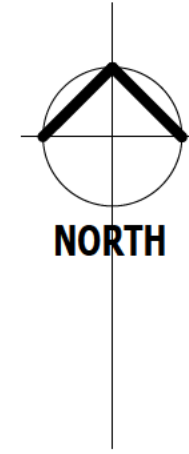
Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

59 FEDERATION AVENUE COROWA PROPOSED RENOVATION DA ISSUE - V1


NEW AND EXISTING CONDITIONS GENERAL NOTES:

- ALL DIMENSIONS AND MEASUREMENTS SHOWN ARE NOMINAL ONLY.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL MEASUREMENTS AND LEVELS ON SITE AND ADJUST ACCORDINGLY TO SUIT THE INTENDED DESIGN.
- DO NOT SCALE FROM DRAWINGS.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA.
- CONTRACTORS SHALL LOCATE ALL SITE SERVICES PRIOR TO ANY SITE WORKS, DIAL BEFORE YOU DIG.
- ALL PLUMBING AND DRAINAGE SHALL COMPLY WITH AS3500 AND LOCAL AUTHORITY REGULATIONS.
- ALL TIMBER FRAMED CONSTRUCTION SHALL COMPLY WITH AS1684
- ALL ELECTRICAL SHALL COMPLY WITH AS3000 AND LOCAL AUTHORITY REGULATIONS.
- TERMITE TREATMENT SHALL COMPLY WITH BCA PART 3.1.4



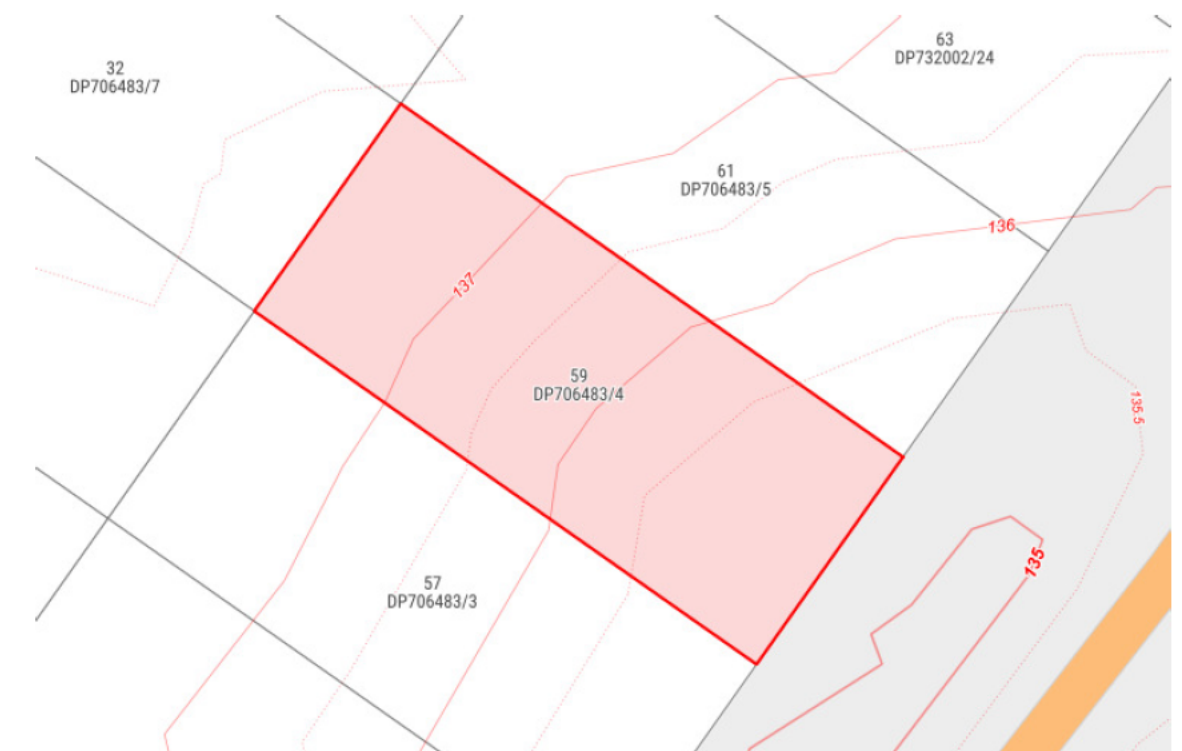
LOCATION OF WORKS

SHEET LIST	
SHEET NUMBER	SHEET NAME
A101	TITLE SHEET
A102	CONCEPT MODELS
A103	SITE PLAN
A104	FLOOR PLAN
A105	EXTERNAL ELEVATIONS
A106	EXTERNAL ELEVATIONS
A107	SECTION A
A201	STUDIO - FLOOR PLAN + ELEVATIONS
A202	STUDIO - FLOOR FRAMING + CEILING PLAN
A203	STUDIO - SECTIONS
A204	STUDIO - ROOF FRAMING + ROOF SHEETING
A301	SHED / CARPORT - FLOOR PLAN
A302	SHED / CARPORT - ELEVATIONS
A303	SHED / CARPORT - SECTIONS
A304	SHED - ROOF FRAMING
A305	SHED - ROOF SHEETING
A306	SHED / CARPORT - REFLECTED CEILING PLAN
A401	PATIO
A501	DECK - FLOOR PLAN
A502	DECK - SECTIONS
A601	SCHEDULES
A602	WATERPROOFING DETAILS

ACTIVE PARCELS	
PARENT PARCEL	1 OF 1
Parent Parcel	980
Street Address	59 Federation Ave, Corowa
	
Lot	Lot 4 DP706483
Property No	3011681
CAD ID	103321696
LEP Zones	R1 - General Residential (1174 sqm)
Parish	COROWA
County	HUME
GIS Area	1174 sqm



EXISTING SITE SERVICES



EXISTING CONTOUR LEVELS

0	DEVELOPMENT APPLICATION ISSUE	SO	30.6.25	ISKO	<div>ISKO Building & Design isko777@gmail.com PO Box 280 COROWA 2646 0404 087 083</div>	REGIONCOROWA LOCATION59 FEDERATION AVENUE COROWA PROJECT NAMEHOUSE RENOVATION DRAWINGTITLE SHEET						
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY		LOT No. 4	DP No. DP706483/4	SHEET No. A101	OF 22	DRAWING No.	AMEND. 0	SHEET SIZE A2
AMENDMENTS												